
Homeward Bound Home Inspection
1-800-228-8865

Printed Thursday, February 16, 2006

Inspected By:
Bob Wood

Referral Information:
Friend

Client Information: Record Number s12345678

Sample Reprot,
123 Your New St
Your New Town, MI 48???

Inspected 2/15/06
1200 Square Feet

12:30 PM
1955 Construction

Front View of Home

Photo



Inspection Summary

Homeward Bound Home Inspection
1-800-228-8865

Record s12345678 - Sample Reprot, 123 Your New St, Your New Town, MI 48???

Safety Concern

GROUNDS

Steps

The wood steps a the front porch are inconstant. They should be replaced or corrected for safety.



GARAGE

Garage Electrical System

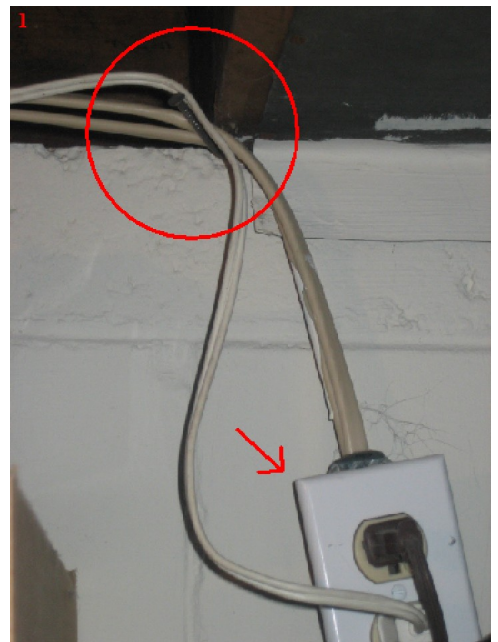
One missing switch plate and several receptacle cover plates were noted. They should be replaced for safety.

ELECTRIC

Main Electrical Disconnect

Type of House Wire

Some homeowner added wiring noted. All exposed romex should be in conduit. All junction boxes should be secured.

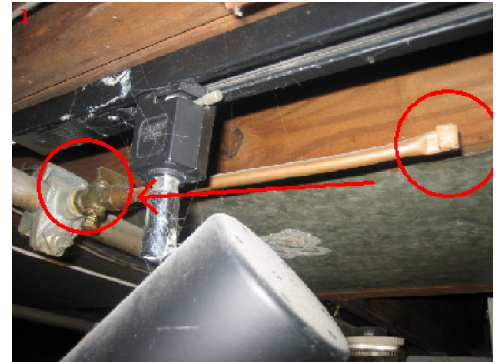


Safety Concern

PLUMBING

Gas Line.

There is a crimped off gas line in the basement. The copper tube should be removed to the valve and the valve properly capped for safety.



LAUNDRY

Dryer Vent

Plastic dryer vents are considered a fire hazard. This plastic dryer vent should be replaced with a ridged metal vent for safety.

BASEMENT

Basement Stairs

No hand rail noted. Add a hand rail and a guard rail to the opened side for safety.



HALF BATH (1)

Bathroom Receptacles (1)

Add GFCI protection to all bathroom receptacles for safety.

BATHROOM (1)

Bathroom Receptacles (1)

Add GFCI protection to all bathroom receptacles for safety.

KITCHEN (1)

Kitchen (1) Electrical Receptacles

Add GFCI protection to all outlets with in six feet of the kitchen sink.

Safety Concern

ATTIC

Insulation Type

The knee wall insulation is installed backwards. The paper is to face the warm side for fire safety. It should be corrected.



INTERIOR

Smoke Detectors

A minimum of one smoke alarm on each level of the home is recommended. Some municipalities may require more. Check with the local building department for requirements. Be sure to have, at least one smoke alarm on each level. Replace all the existing alarms with updated units and add a carbon monoxide alarm in the living room and master bedroom.

Stairways

Add a hand rail to the upstairs stairway for safety.

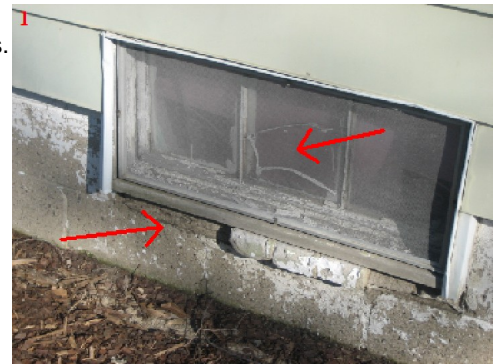


Major Defect

EXTERIOR

Basement Windows

There are several cracked basement windows and deteriorated sills. Replacement is needed. Consider glass block. Anticipate expensive repair costs.



GROUNDS

Driveway

The driveway has cracked and settled towards the house. Some slab replacement is needed. Anticipate expensive repair costs.



Major Defect

ROOF

Roof Covering (Area 2)

The metal awning over the front porch is torn. Repair, or replacement is needed. Anticipate expensive costs to replace it.



COOLING (1)

System Coils and Fins (1)

There is significant damage to the fins on the a/c unit. This will affect the efficiency of the unit. Replacement should be considered.



Major Defect

GARAGE

Garage Exterior Walls

Proper prep and paint is needed (expensive to hire).



Garage Fascia\Soffit\Trim

Proper prep and paint is needed (expensive to hire).



Overhead Doors

Extensive rust noted at base. Replacement should be consider .



ELECTRIC

Main Panel Rating

A 60 amp system is not considered enough for today's needs. This system should be evaluated by a licensed electrician, who can advise you of needed upgrades.

PLUMBING

Interior Visible Water Pipes

Galvanized steel water supply lines have a normal life of 40 to 50 years. Due to the advanced age of this plumbing supply system you should anticipate a need to re-plumb in the near future.

Service/Repair/ Comments

EXTERIOR

Soffit\Fascia

The presence of wood rot behind the aluminum/vinyl can not be determined by this inspection. There is no visible damage at the time of inspection.

Trim Work

The presence of wood rot behind the aluminum/vinyl can not be determined by this inspection. No visible damage was noted at the time of inspection.

Siding

The presence of wood rot behind the aluminum/vinyl can not be determined by this inspection. There is a loose corner piece at the northwest corner. Minor repair is needed.



Grading

Soil should be sloped away from house to improve drainage. Minor regrading is needed at the north and west. The drive also drains towards the house (see below).



Service/Repair/ Comments

Entry Doors

Reconditioning is needed at the sill and frame of both the side and front doors.



Storm Doors

The storm door inside handle needs to be replaced.



Glass

At times, broken thermal seals are difficult to identify because of dirty windows, overcast weather, interior window dressings, etc. No visibly broken seals were noted at the time of inspection.

GROUNDS

Walks

There is minor cracking noted in the walk to the front porch. No repair is needed at this time.

Service/Repair/ Comments

Porches

Some block deterioration noted and some settlement away from the house is visible. Repair the block deterioration and seal the joint between the porch and house. Monitor for further movement. Eventual replacement may be needed but is unlikely in the near future.



GUTTERS

GUTTER SYSTEM

Gutters should be cleaned in the Fall and Spring. Gutter guards are recommended to reduce debris accumulation IN the gutters.

Gutter

The back gutter is dented and loose. It functions properly but eventual replacement will be needed.



Service/Repair/ Comments

Downspout

The bottom boot is missing at two west downspouts.



Downspout Extensions

Add extensions to all downspouts, where missing, to move water away from the foundation.

ROOF

Roof Covering (Area 1)

The average useful life of asphalt shingle roofing material is 15 to 20 years. There is no visible damage to this roof to the time of inspection.

Valleys

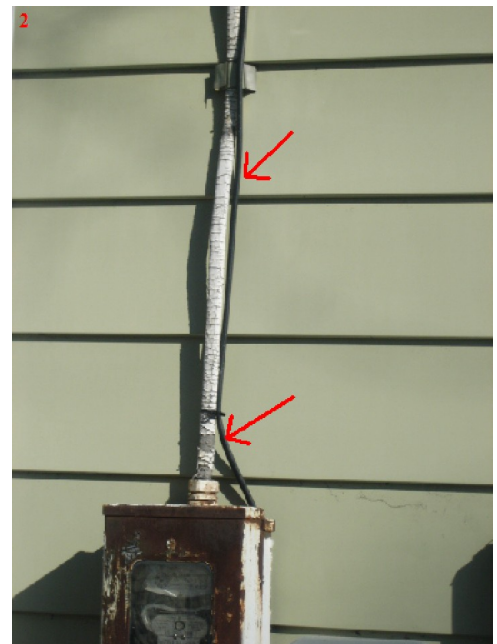
Monitor the valleys of the roof closely. They are, typically, the first part of a roof to deteriorate. There is no visible damage at the time of inspection.

Service/Repair/ Comments

ELECTRIC

Entry Line

The entry line is frayed and deteriorated. Replacement is needed. Contact a licensed electrician for a repair quote.



Electrical Receptacles

A sample number of receptacles were tested during this inspection. All of the receptacles were not checked.

The number of electrical receptacles is typical for a home of this age.

PLUMBING

PLUMBING

What constitutes "adequate" water volume varies from person-to-person. WE RECOMMEND YOU CHECK THE WATER VOLUME TO ENSURE IT MEETS YOUR PERSONAL NEEDS.

Interior Waste/Vent Pipes

All plumbing under the slab and/or in non-visible areas is not verifiable.

Service/Repair/ Comments

Outside Spigots

Consider internal winterizing as a second measure of protection.

W. HEATER 1

WATER HEATER 1

The average life of a typical hot water tank is 10 - 14 years. The remaining life and recovery rate of this/these unit's cannot be determined by this visual inspection.

LAUNDRY

LAUNDRY

Any inspected appliances are only run through a basic, quick cycle, to see if major components are operating. Timers, internal lights, temperature settings, and miscellaneous special features were not checked.

Laundry Sink Faucets

A leak was noted at the valve stems of the faucet. Minor repair is needed.

Washing Machine

Keep in mind the advanced age of this appliance.

Dryer

Keep in mind the advanced age of this appliance.

FURNACE (1)

FURNACE (1)

The furnace should be thoroughly cleaned and adjusted by a licensed and qualified heating contractor every year before the heating season begins. The average life of this type of furnace is 18-20 years.

Visible Heat Exchanger (1)

Even when great care is taken to inspect heat exchanger visually most of it is not accessible and some problems may not be visible. Some dirt and rust noted. The unit should be cleaned (normal maintenance).

Thermostat (1)

Consider updating to a programmable thermostat.

Filter System (1)

The current filter is dirty and should be replaced. Replacement of this type of filter will be needed monthly.

BASEMENT

BASEMENT

Proper maintenance of the gutter and downspout system and proper drainage away from the home can help minimize the potential for water penetration into the basement.

Service/Repair/ Comments

Basement Foundation Walls

Some cracks and past water penetration noted.



Basement Finished Ceiling

The finished ceiling obstructs 60% of the floor joists, beams, sub-floor and other sub-structure components. These areas were not inspected.

Moisture stains were noted under the bathroom and at the west wall indicating past plumbing leaks. Both areas were tested and found dry at the time of inspection.



Service/Repair/ Comments

Basement Wall Finished/Obstructed

Inspection limited by finished areas and stored items. Approximately 70% of the walls are obstructed. Some minor settling cracks were noted. No repair needed at this time.



Water Penetration

Some visible staining and efflorescence present, indicating past water penetration. Ask the current owner for any history of past leaking and what was done to prevent it. Regrading and proper gutter maintenance, can help minimize the potential for water penetration. All basements can leak during extreme weather. Monitor for water penetration and repair as needed.

Dry walls at the time of inspection does not indicate that water penetration will not develop in the future.



Service/Repair/ Comments

HALF BATH (1)

BATHROOM (1)

This bathroom is located in the basement.

Toilet Bowl and Tank (1)

The toilet runs. Adjust, or repair the float , or flush valve.

Bathroom Ventilation (1)

There is no bathroom exhaust fan for the basement bathroom. One should be added. Either a fan or window is required.

BATHROOM (1)

Bathroom Sink Drain and Trap (1)

Rust noted in trap monitor for leakage. Consider preventative replacement.

Bathtub (1)

The bathtub caulk needs to be improved.



Bathroom Floor (1)

The threshold tile is cracked and loose. It should be replaced.



KITCHEN (1)

KITCHEN (1)

The appliances were tested in a basic cycle. Individual timers, cycles, etc. were not tested.

Kitchen Drain and Trap (1)

There is minor corrosion in the drain line. It is not actively leaking at this time. Consider preventative replacement.

Dishwasher (1)

Keep in mind the advanced age of this appliance.

Range/Oven (1)

Keep in mind the advanced age of this appliance.

Service/Repair/ Comments

Refrigerator (1)

The refrigerator door seal is torn. It should be replaced.

Keep in mind the advanced age of this appliance.

ATTIC

Attic Accessibility

INTERIOR

INTERIOR ROOMS

This inspection does not include any type of testing for presence of mold, or any other environmental risk.

Interior Walls

There is typical damage to the drywall/plaster. It is typically, not a structural issue. Repair is considered normal maintenance.

Interior Ceilings

There is typical damage to the drywall/plaster. It is typically, not a structural issue. Repair is considered normal maintenance.

Closets

Hardware adjustment needed. Some doors catch and rub. This is typical in older homes due to settlement.

Windows

Not all windows were opened.

Inspection Report Details

Record s12345678 - Sample Reprot, 123 Your New St, Your New Town, MI 48???

EXTERIOR

Serviceable Type of Home - Frame, Bungalow

Serviceable Exposed Foundation - Serviceable, Basement

Service/Repair/Comments Soffit\Fascia - Serviceable, Aluminum/Vinyl

The presence of wood rot behind the aluminum/vinyl can not be determined by this inspection. There is no visible damage at the time of inspection.

Service/Repair/Comments Trim Work - Serviceable, Aluminum/Vinyl

The presence of wood rot behind the aluminum/vinyl can not be determined by this inspection. No visible damage was noted at the time of inspection.

Service/Repair/Comments Siding - Serviceable, Aluminum

The presence of wood rot behind the aluminum/vinyl can not be determined by this inspection. There is a loose corner piece at the northwest corner. Minor repair is needed.

Service/Repair/Comments Grading - Defect Noted

Soil should be sloped away from house to improve drainage. Minor regrading is needed at the north and west. The drive also drains towards the house (see below).

Service/Repair/Comments Entry Doors - Serviceable, Wood, Other

Reconditioning is needed at the sill and frame of both the side and front doors.

Service/Repair/Comments Storm Doors - Serviceable, Other

The storm door inside handle needs to be replaced.

Serviceable Window Character Material - Serviceable, Vinyl

Service/Repair/Comments Glass - Serviceable, Insulated

At times, broken thermal seals are difficult to identify because of dirty windows, overcast weather, interior window dressings, etc. No visibly broken seals were noted at the time of inspection.

Serviceable Windows Storm\Screen - Serviceable

Major Defect Basement Windows - Defect Noted

There are several cracked basement windows and deteriorated sills. Replacement is needed. Consider glass block. Anticipate expensive repair costs.

GROUNDS

Service/Repair/Comments Walks - Serviceable, Concrete, Other

There is minor cracking noted in the walk to the front porch. No repair is needed at this time.

Major Defect Driveway - Defect Noted, Concrete

The driveway has cracked and settled towards the house. Some slab replacement is needed. Anticipate expensive repair costs.

GROUNDS

Serviceable Fence - Serviceable, Chain link

Safety Concern Steps - Defect Noted

The wood steps a the front porch are inconstant. They should be replaced or corrected for safety.

Serviceable Patio - Serviceable, Masonry

Service/Repair/Comments Porches - Defect Noted, Masonry

Some block deterioration noted and some settlement away from the house is visible. Repair the block deterioration and seal the joint between the porch and house. Monitor for further movement. Eventual replacement may be needed but is unlikely in the near future.

GUTTERS

Service/Repair/Comments GUTTER SYSTEM - General Comment

Gutters should be cleaned in the Fall and Spring. Gutter guards are recommended to reduce debris accumulation IN the gutters.

Service/Repair/Comments Gutter - Serviceable, Aluminum, Other

The back gutter is dented and loose. It functions properly but eventual replacement will be needed.

Service/Repair/Comments Downspout - Defect Noted

The bottom boot is missing at two west downspouts.

Service/Repair/Comments Downspout Extensions - Missing

Add extensions to all downspouts, where missing, to move water away from the foundation.

ROOF

Serviceable How Inspected - Walk on Roof

Service/Repair/Comments Roof Covering (Area 1) - Asphalt/Fiberglass

The average useful life of asphalt shingle roofing material is 15 to 20 years. There is no visible damage to this roof to the time of inspection.

Serviceable Approx. Age (Area 1) - 1 to 5

Major Defect Roof Covering (Area 2) - Defect Noted, Other

The metal awning over the front porch is torn. Repair, or replacement is needed. Anticipate expensive costs to replace it.

Serviceable Number of Layers - 1

Serviceable Roof Ventilation System - Serviceable, Ridge, Roof

Serviceable Flashing - Serviceable

ROOF

Serviceable Plumbing Vents - Serviceable

Service/Repair/Comments Valleys - Serviceable

Monitor the valleys of the roof closely. They are, typically, the first part of a roof to deteriorate. There is no visible damage at the time of inspection.

CHIMNEY

Serviceable Chimney Inspected From - Roof

Serviceable Chimney (1) - Serviceable, Masonry, Metal

Serviceable Chimney (1) Location - Center

Serviceable Cap/Crown (1) - Serviceable

Serviceable Chimney (1) Flashing - Serviceable

Serviceable Rain Bonnet/Varm. Screen (1) - Serviceable

COOLING (1)

Serviceable Cooling System (1) Approx. Age - 10 - 15 years

Major Defect System Coils and Fins (1) - Defect Noted

There is significant damage to the fins on the a/c unit. This will affect the efficiency of the unit. Replacement should be considered.

Serviceable Cooling Lines (1) - Serviceable

GARAGE

Serviceable Garage Type - Detached

Major Defect Garage Exterior Walls - Wood

Proper prep and paint is needed (expensive to hire).

Major Defect Garage Fascia\Soffit\Trim - Wood

Proper prep and paint is needed (expensive to hire).

Serviceable Garage Roof Covering - Serviceable

Serviceable Garage Roof Approx. Age - 1 to 5

GARAGE

Serviceable Garage Windows - Serviceable

Serviceable Garage Interior Walls/Ceiling - Serviceable

Serviceable Garage Floor - Serviceable, Concrete

Safety Concern Garage Electrical System - Serviceable, Under Ground Feed, Other

One missing switch plate and several receptacle cover plates were noted. They should be replaced for safety.

Serviceable Garage Doors - Serviceable

Major Defect Overhead Doors - Defect Noted

Extensive rust noted at base. Replacement should be consider .

ELECTRIC

Serviceable Main Electrical Service - Overhead Service Drop

Serviceable Overhead Clearance - Serviceable

Service/Repair/Comments Entry Line - Defect Noted

The entry line is frayed and deteriorated. Replacement is needed. Contact a licensed electrician for a repair quote.

Serviceable Voltage Available - 110 / 220

Serviceable Main Panel Accessibility - Typical

Serviceable Main Elect Panel Location - Basement

Major Defect Main Panel Rateing - 60

A 60 amp system is not considered enough for today's needs. This system should be evaluated by a licensed electrician, who can advise you of needed upgrades.

Safety Concern Main Electrical Disconnect - Fused, Pull Out Plug

Serviceable Main Disconnect Size - 60

Serviceable Interior House Wiring - Serviceable, Copper

Safety Concern Type of House Wire - Defect Noted, Romex, Conduit, BX Cable

Some homeowner added wiring noted. All exposed romex should be in conduit. All junction boxes should be secured.

Serviceable Grounding - Serviceable, Water Pipe

ELECTRIC

Serviceable Breakers/Fuses - Serviceable, 100 percent

Service/Repair/Comments Electrical Receptacles - 2 and 3 Slotted, Typical

A sample number of receptacles were tested during this inspection. All of the receptacles were not checked.

The number of electrical receptacles is typical for a home of this age.

PLUMBING

Service/Repair/Comments PLUMBING - General Comment

What constitutes "adequate" water volume varies from person-to-person. WE RECOMMEND YOU CHECK THE WATER VOLUME TO ENSURE IT MEETS YOUR PERSONAL NEEDS.

Serviceable Water Source - Municipal

Serviceable Municipal Main Supply Size - 3/4

Serviceable Municipal Main Supply Type - Serviceable, Copper

Serviceable Main Water Shut Off - Serviceable, Basement

Major Defect Interior Visible Water Pipes - Serviceable, Galvanized

Galvanized steel water supply lines have a normal life of 40 to 50 years. Due to the advanced age of this plumbing supply system you should anticipate a need to re-plumb in the near future.

Serviceable Waste System - Municipal

Service/Repair/Comments Interior Waste/Vent Pipes - Serviceable, Cast Iron, Galvanized

All plumbing under the slab and/or in non-visible areas is not verifiable.

Service/Repair/Comments Outside Spigots - Serviceable, Frost Free

Consider internal winterizing as a second measure of protection.

Safety Concern Gas Line. - Serviceable, Black Iron., Other

There is a crimped off gas line in the basement. The copper tube should be removed to the valve and the valve properly capped for safety.

W. HEATER 1

Service/Repair/Comments WATER HEATER 1 - General Comment

The average life of a typical hot water tank is 10 - 14 years. The remaining life and recovery rate of this/these unit's cannot be determined by this visual inspection.

Serviceable Water Heater 1 Approx. Age - 5 to 10 years

Serviceable Water Heater 1 Approx. Size - 40

W. HEATER 1

- Serviceable** Water Heater 1 Fuel - Gas
- Serviceable** Water Heater 1 Exhaust Vent - Serviceable
- Serviceable** Water Heater 1 Gas Piping - Serviceable, Valve On/Off
- Serviceable** Water Heater 1 Cold Water Valve - Present
- Serviceable** Water Heater 1 Plumb. Connections - Serviceable
- Serviceable** Temp. Press. Valve and Pipe 1 - Present
- Serviceable** Water Heater 1 Exterior Jacket - Serviceable

LAUNDRY

Service/Repair/Comments LAUNDRY - General Comment

Any inspected appliances are only run through a basic, quick cycle, to see if major components are operating. Timers, internal lights, temperature settings, and miscellaneous special features were not checked.

Serviceable Laundry Sink - Serviceable

Service/Repair/Comments Laundry Sink Faucets - Defect Noted

A leak was noted at the valve stems of the faucet. Minor repair is needed.

Serviceable Laundry Sink Drain Trap - Serviceable

Service/Repair/Comments Washing Machine - Serviceable, Advanced Age

Keep in mind the advanced age of this appliance.

Serviceable Laundry Water Faucets - Serviceable

Serviceable Washer Drains - Serviceable, Laundry Sink

Service/Repair/Comments Dryer - Serviceable, Advanced Age

Keep in mind the advanced age of this appliance.

Serviceable Dryer Energy Source - Serviceable, Gas

Safety Concern Dryer Vent - Plastic Vent

Plastic dryer vents are considered a fire hazard. This plastic dryer vent should be replaced with a ridged metal vent for safety.

FURNACE (1)

Service/Repair/Comments FURNACE (1) - General Comment

The furnace should be thoroughly cleaned and adjusted by a licensed and qualified heating contractor every year before the heating season begins. The average life of this type of furnace is 18-20 years.

Serviceable Forced Air System (1) Approx. Age - 5 to 10 years

Serviceable Forced Air System (1) Energy Source - Serviceable, Gas

Serviceable Air Circulation System (1) - Serviceable

Serviceable Flame Pattern (1) - Serviceable

Service/Repair/Comments Visible Heat Exchanger (1) - Serviceable

Even when great care is taken to inspect heat exchanger visually most of it is not accessible and some problems may not be visible. Some dirt and rust noted. The unit should be cleaned (normal maintenance).

Serviceable Distribution System (1) Type - Up Flow

Serviceable Duct Work (1) - Serviceable

Service/Repair/Comments Thermostat (1) - Serviceable, Standard

Consider updating to a programmable thermostat.

Serviceable Flue Piping (1) - Serviceable

Service/Repair/Comments Filter System (1) - Disposable

The current filter is dirty and should be replaced. Replacement of this type of filter will be needed monthly.

Serviceable Humidifier (1) - Serviceable

BASEMENT

Service/Repair/Comments BASEMENT - General Comment

Proper maintenance of the gutter and downspout system and proper drainage away from the home can help minimize the potential for water penetration into the basement.

Serviceable Basement Type - Full Percent

Safety Concern Basement Stairs - Defect Noted

No hand rail noted. Add a hand rail and a guard rail to the opened side for safety.

Service/Repair/Comments Basement Foundation Walls - Serviceable, Cement Block

Some cracks and past water penetration noted.

BASEMENT

Serviceable Basement Floor - Serviceable

Serviceable Basement Bridging - Serviceable

Serviceable Basement Structural Columns - Serviceable, Steel

Serviceable Basement Structural Beams - Serviceable, Wood, Steel

Serviceable Basement Ceiling Sub Floor - Serviceable

Service/Repair/Comments Basement Finished Ceiling - Serviceable

The finished ceiling obstructs 60% of the floor joists, beams, sub-floor and other sub-structure components. These areas were not inspected.

Moisture stains were noted under the bathroom and at the west wall indicating past plumbing leaks. Both areas were tested and found dry at the time of inspection.

Serviceable Basement Floor Joist - Serviceable, Wood Joists

Service/Repair/Comments Basement Wall Finished/Obstructed - Serviceable, Partially Finished

Inspection limited by finished areas and stored items. Approximately 70% of the walls are obstructed. Some minor settling cracks were noted. No repair needed at this time.

Service/Repair/Comments Water Penetration - Visible Evidence, Walls Dry

Some visible staining and efflorescence present, indicating past water penetration. Ask the current owner for any history of past leaking and what was done to prevent it. Regrading and proper gutter maintenance, can help minimize the potential for water penetration. All basements can leak during extreme weather. Monitor for water penetration and repair as needed.

Dry walls at the time of inspection does not indicate that water penetration will not develop in the future.

Serviceable Basement Drainage - Serviceable, Floor Drain

HALF BATH (1)

Service/Repair/Comments BATHROOM (1) - General Comment

This bathroom is located in the basement.

Serviceable Bathroom Doors, Windows (1) - Serviceable

Serviceable Bathroom Elect Switches and Fixtures (1) - Serviceable

Safety Concern Bathroom Receptacles (1) - No GFCI

Add GFCI protection to all bathroom receptacles for safety.

Serviceable Bathroom Walls and Ceilings (1) - Serviceable

HALF BATH (1)

Serviceable Bathroom Heating/Cooling (1) - Serviceable

Serviceable Vanity/Cabinets (1) - Serviceable

Serviceable Bathroom Sink Faucets (1) - Serviceable

Serviceable Bathroom Sink Basin (1) - Serviceable

Serviceable Bathroom Sink Drain and Trap (1) - Serviceable

Service/Repair/Comments Toilet Bowl and Tank (1) - Defect Noted, Other

The toilet runs. Adjust, or repair the float , or flush valve.

Service/Repair/Comments Bathroom Ventilation (1) - Defect Noted

There is no bathroom exhaust fan for the basement bathroom. One should be added. Either a fan or window is required.

Serviceable Bathroom Floor (1) - Serviceable

BATHROOM (1)

Serviceable Bathroom Doors, Windows (1) - Serviceable

Serviceable Bathroom Elect Switches and Fixtures (1) - Serviceable

Safety Concern Bathroom Receptacles (1) - No GFCI

Add GFCI protection to all bathroom receptacles for safety.

Serviceable Bathroom Walls and Ceilings (1) - Serviceable

Serviceable Bathroom Heating/Cooling (1) - Serviceable

Serviceable Vanity/Cabinets (1) - Serviceable

Serviceable Bathroom Sink Faucets (1) - Serviceable

Serviceable Bathroom Sink Basin (1) - Serviceable

Service/Repair/Comments Bathroom Sink Drain and Trap (1) - Serviceable, Other

Rust noted in trap monitor for leakage. Consider preventative replacement.

BATHROOM (1)

Serviceable Toilet Bowl and Tank (1) - Serviceable

Service/Repair/Comments Bathtub (1) - Serviceable, Other

The bathtub caulk needs to be improved.

Serviceable Bathtub Faucets (1) - Serviceable

Serviceable Bathtub Stopper (1) - Serviceable

Serviceable Tub Wall Encl. (1) - Serviceable

Serviceable Bathroom Ventilation (1) - Serviceable

Service/Repair/Comments Bathroom Floor (1) - Serviceable, Other

The threshold tile is cracked and loose. It should be replaced.

Serviceable Shower Faucets (1) - Serviceable

Serviceable Showerhead (1) - Serviceable

KITCHEN (1)

Service/Repair/Comments KITCHEN (1) - General Comments

The appliances were tested in a basic cycle. Individual timers, cycles, etc. were not tested.

Serviceable Kitchen (1) Floors - Defect Noted, Laminate

Serviceable Counter Top (1) - Serviceable

Serviceable Kitchen Cabinets (1) - Serviceable

Serviceable Kitchen Sink (1) - Serviceable

Serviceable Kitchen Faucet (1) - Serviceable

Service/Repair/Comments Kitchen Drain and Trap (1) - Defect Noted

There is minor corrosion in the drain line. It is not actively leaking at this time. Consider preventative replacement.

Serviceable Garbage Disposal (1) - Serviceable

KITCHEN (1)

Service/Repair/Comments Dishwasher (1) - Serviceable, Advanced Age

Keep in mind the advanced age of this appliance.

Service/Repair/Comments Range/Oven (1) - Serviceable, Gas, Advanced Age

Keep in mind the advanced age of this appliance.

Serviceable Kitchen Exhaust Vent (1) - Serviceable

Service/Repair/Comments Refrigerator (1) - Serviceable, Advanced Age

The refrigerator door seal is torn. It should be replaced.

Keep in mind the advanced age of this appliance.

Safety Concern Kitchen (1) Electrical Receptacles - No GFCI Protection

Add GFCI protection to all outlets with in six feet of the kitchen sink.

Serviceable Kitchen (1) Switches and Fixtures - Serviceable

ATTIC

Service/Repair/Comments Attic Accessibility - Knee Wall Access

Serviceable Attic Access Location - Hallway

Serviceable Attic Framing - Serviceable

Serviceable Attic Sheathing - Serviceable

Safety Concern Insulation Type - Cellulose, Fiberglass, Other

The knee wall insulation is installed backwards. The paper is to face the warm side for fire safety. It should be corrected.

Serviceable Insulation Thickness - 6-10 inches

Serviceable Attic Ventilation - Serviceable, Ridge, Roof Vents

Serviceable Plumbing Vent Pipes - Serviceable

INTERIOR

Service/Repair/Comments INTERIOR ROOMS - General Comment

This inspection does not include any type of testing for presence of mold, or any other environmental risk.

Serviceable Interior Rooms - Living Room, Dining Room

INTERIOR

Serviceable Number of Bedrooms - 3

Serviceable Interior Doors and Hardware - Serviceable

Service/Repair/Comments Interior Walls - Serviceable

There is typical damage to the drywall/plaster. It is typically, not a structural issue. Repair is considered normal maintenance.

Service/Repair/Comments Interior Ceilings - Serviceable

There is typical damage to the drywall/plaster. It is typically, not a structural issue. Repair is considered normal maintenance.

Serviceable Interior Floors - Serviceable, Vinyl, Wood, Carpet

Serviceable Interior Switches - Serviceable

Serviceable Interior Fixtures - Serviceable

Serviceable Heat/Cooling Source - Central Heating

Serviceable Interior Cabinets and Shelving - Serviceable

Service/Repair/Comments Closets - Doors in Place, Other

Hardware adjustment needed. Some doors catch and rub. This is typical in older homes due to settlement.

Safety Concern Smoke Detectors - Too Few

A minimum of one smoke alarm on each level of the home is recommended. Some municipalities may require more. Check with the local building department for requirements. Be sure to have, at least one smoke alarm on each level. Replace all the existing alarms with updated units and add a carbon monoxide alarm in the living room and master bedroom.

Safety Concern Stairways - Defect Noted

Add a hand rail to the upstairs stairway for safety.

Service/Repair/Comments Windows - Serviceable

Not all windows were opened.